

BASIS OF COORDINATES AND BEARINGS

THE COORDINATES AND BEARINGS SHOWN HEREON ARE BASED UPON THE CALIFORNIA COORDINATE SYSTEM OF 1983, CCB3 (NA2011)(MYCS2), ZONE 3, (2021.250) IN ACCORDANCE WITH THE CALIFORNIA PUBLIC RESOURCES CODE SECTIONS 8801-8819; SAID COORDINATES AND BEARINGS ARE BASED FROM SMARTNET NORTH AMERICA'S GPS REFERENCE NETWORK LOCALLY UPON FIELD-OBSERVED TIES TO THE FOLLOWING SMARTNET NORTH AMERICA'S GPS REFERENCE NETWORK STATION:

REFERENCE CORS STATIONS CONNECTED AND MONUMENTS LOCATED:

PT. NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
2	2160191.29	6020388.02	94.59	FND_CLMOM W/ PUNCH LS 6630
121	2100692.79	6012242.17	54.58	RTCM3224 (CORS STATION)
122	2093738.85	5981860.69	95.85	RTCM3248 (CORS STATION)
405	2160371.43	6019485.54	37.84	FOUND MONUMENT W/PUNCH RCE 12791
661	2159781.48	6019349.67	12.64	FOUND MONUMENT W/PUNCH_RE-7826

BENCHMARK

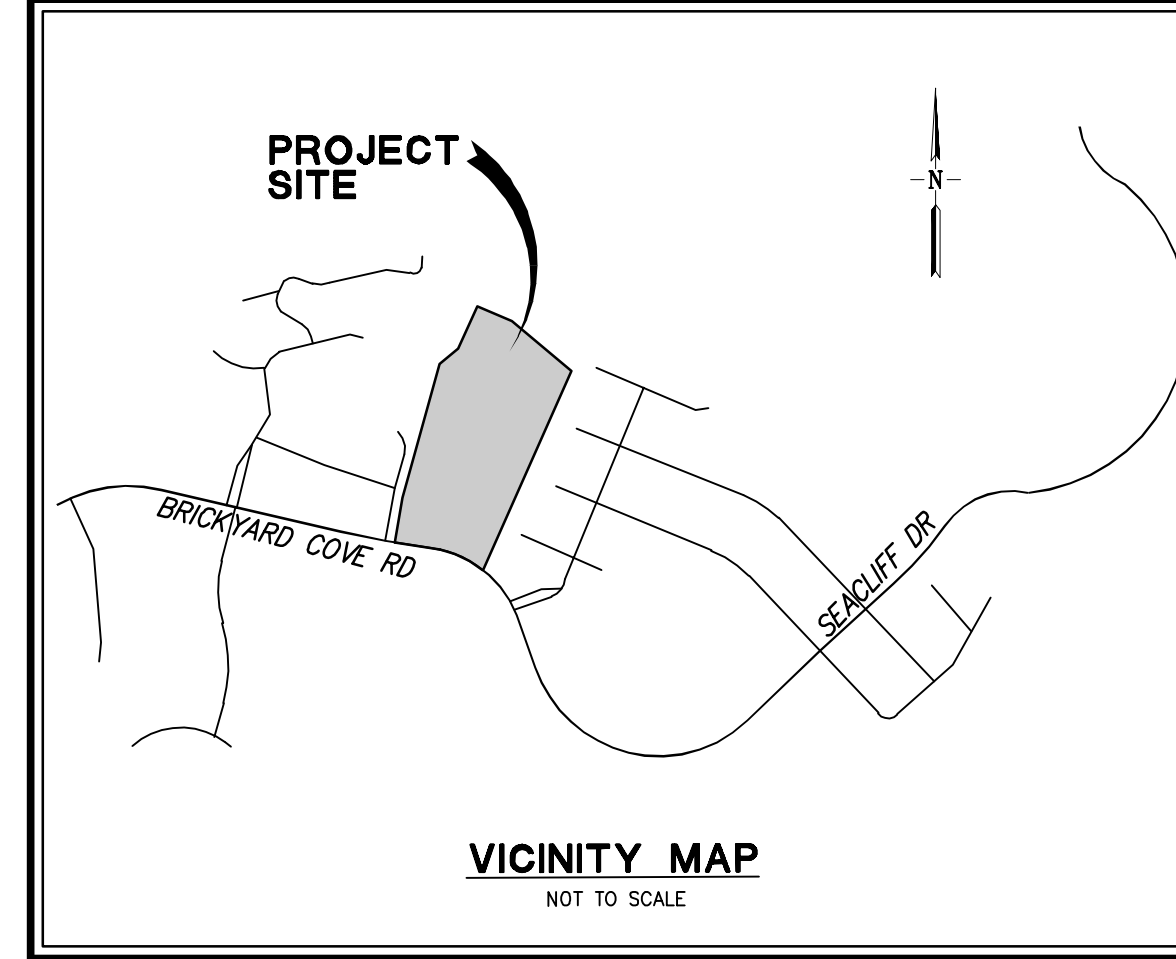
THE VERTICAL DATUM IS BASED ON NGS BENCHMARK NAMED GPS CONTROL PT 54 - PID DE8503. A BENCHMARK DISK SET IN THE TOP OF A CONCRETE DRAIN INLET STAMPED NO. 54 2000.
ELEVATION = 10.4 FEET (NAVD 88)

CITY OF RICHMOND BENCHMARK #10
ELEVATION = 17.19 FEET (14.71 FEET NGVD 29)

CITY OF RICHMOND BENCHMARK #16
ELEVATION = 11.30 FEET (8.83 FEET NGVD 29)

VESTING TENTATIVE MAP TRACT 9604 - POINT RICHMOND

CITY OF RICHMOND, CONTRA COSTA COUNTY, CALIFORNIA FOR: REPUBLIC URBAN PROPERTIES

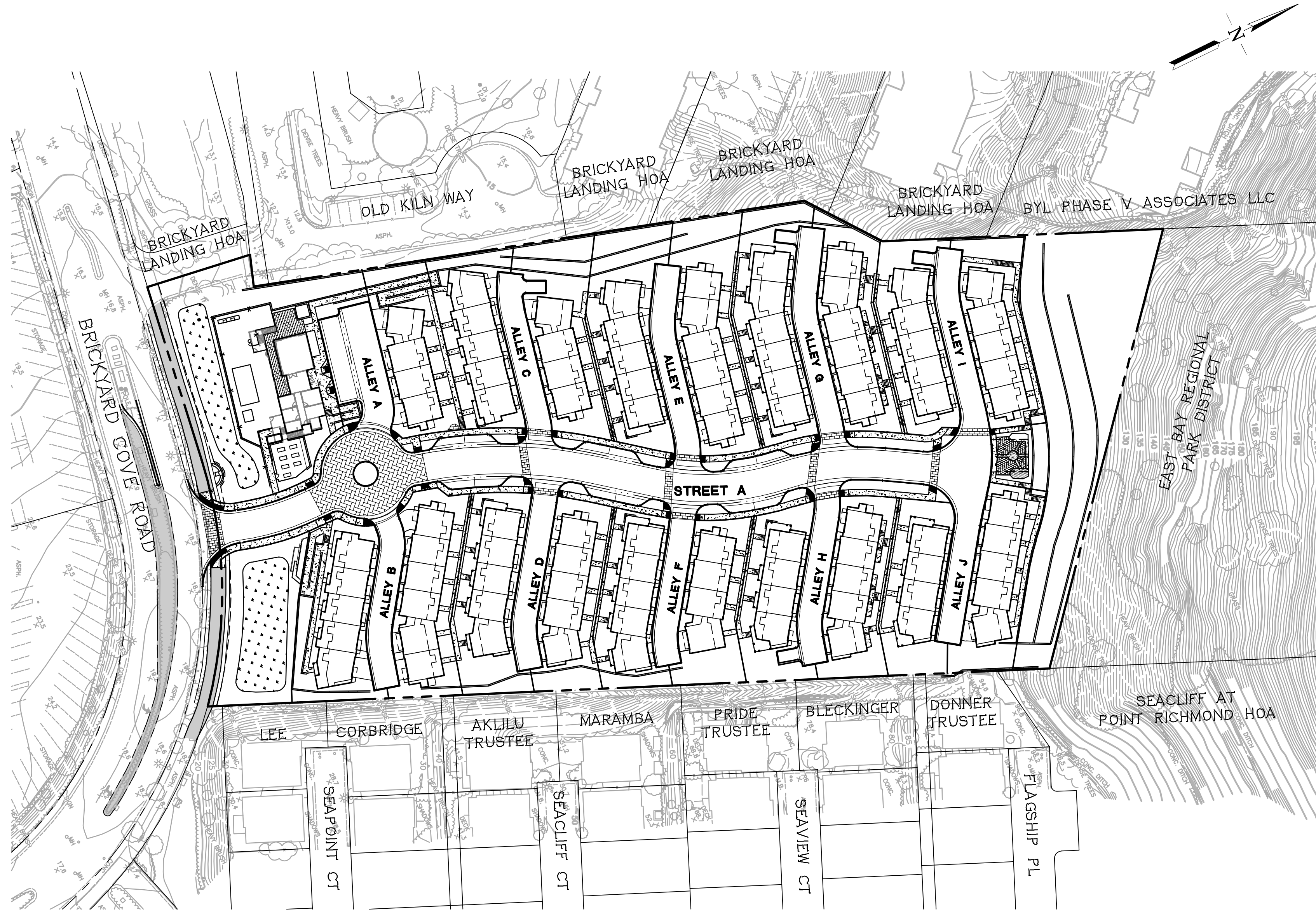


LEGEND

PROPOSED	DESCRIPTION	EXISTING
---	TRACT BOUNDARY	---
---	LOT LINE	---
---	RIGHT OF WAY	---
---	CENTER LINE	---
---	MATCH LINE	---
---	RETAINING WALL	---
---	EASEMENT LINE	---
---	STORM DRAIN	EX 12" SD
---	SANITARY SEWER	EX 12" SS
---	POTABLE WATER	EX 12" W
---	CURB & GUTTER	EX FC
---	SAWCUT	---
---	SIDEWALK	---
---	EARTH OR GRASS SWALE	---
---	VALLEY GUTTER	---
---	STORM WATER INLET	---
---	DROP INLET	---
---	AREA DRAIN	---
---	MANHOLE	---
---	SANITARY SEWER CLEAN OUT	---
---	SANITARY SEWER LATERAL	---
---	FIRE HYDRANT	---
---	BLOW OFF	---
---	WATER SERVICE WITH METER BOX	---
---	BACKFLOW DEVICE	---
---	WATER VALVE	---
---	AIR RELEASE VALVE	---
---	POST INDICATOR VALVE	---
---	MONUMENT	---
---	FENCE	---
---	BARRICADE	---
---	CURB RAMP	---
---	CONTOUR ELEVATIONS	---
---	SPOT ELEVATION	---
---	BIO-RETENTION AREA	---
---	NEW ASPHALT PAVEMENT	---
---	DECORATIVE PAVEMENT	---
---	PERMEABLE PAVERS	---

ABBREVIATIONS

AB	AGGREGATE BASE	PAE	PUBLIC ACCESS EASEMENT
AC	ASPHALT CONCRETE	PAV	PAVEMENT
AD	AREA DRAIN	PIV	POST INDICATOR VALVE
BC	BEGINNING OF CURVE	PL	PROPERTY LINE
BFP	BACKFLOW PREVENTER	PLE	PUBLIC LANDSCAPE EASEMENT
BO	BLOWOFF	PMAE	PRIVATE MAINTENANCE ACCESS EASEMENT
CL	CENTER LINE	PPAE	PRIVATE PEDESTRIAN ACCESS EASEMENT
COMM	COMMUNICATION	PSDE	PRIVATE STORM DRAIN EASEMENT
DI	DROP INLET	PUE	PUBLIC UTILITY EASEMENT
DIP	DUCTILE IRON PIPE	PVAE	PRIVATE VEHICLE ACCESS EASEMENT
DW	DOMESTIC WATER	PVC	POLYVINYL CHLORIDE PIPE
DWG	DRAWING	RCP	REINFORCED CONCRETE PIPE
EC	END OF CURVE	RET	CURB RETURN
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT	RW	RIGHT OF WAY
EX	EXISTING	SD	STORM DRAIN
FC	FACE OF CURB	SS	SANITARY SEWER
FF	FINISHED FLOOR	SSE	SANITARY SEWER EASEMENT
FG	FINISHED GRADE	SHS	STREET NAME SIGN
FH	FIRE HYDRANT	SL	STREET LIGHT
FL	FLOW LINE	STD	STANDARD
FS	FIRE SERVICE	SWI	STORM WATER INLET
FW	FIRE WATER	SWK	SIDEWALK
GE	GARAGE ELEVATION	SSE	SANITARY SEWER EASEMENT
GB	GRADE BREAK	TC	TOP OF CURB
HP	HIGH POINT	TFC	TOP OF FLUSH CURB
INV	INVERT ELEVATION	TG	TOP OF GRATE
LP	LOW POINT	TRC	TOP OF ROLLED CURB
MAX	MAXIMUM	TRW	TOP OF RETAINING WALL
MH	MANHOLE	TW	TOP OF WALL
MIN	MINIMUM	TYP	TYPICAL
OH	OVERHEAD	W	WATER LINE
P	PAD ELEVATION	WLE	WATER LINE EASEMENT



LOCATION MAP
SCALE: 1" = 60'

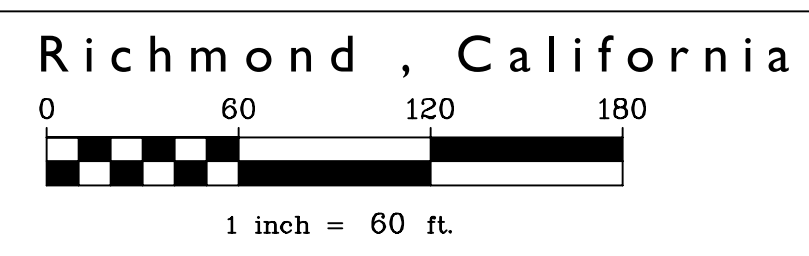
GENERAL NOTES

- OWNER:** PACIFIC GAS & ELECTRIC, A CALIFORNIA CORPORATION
245 MARKET STREET, N10A, ROOM 1015
P.O. BOX 770000
SAN FRANCISCO, CA 94177
- APPLICANT:** REPUBLIC URBAN PROPERTIES
84 WEST SANTA CLARA STREET, SUITE 600
SAN JOSE, CA 95113
TEL: (408) 292-1601
CONTACT: MELISSA DURKIN
- CIVIL ENGINEER:** RUGGERI-JENSEN-AZAR
4690 CHABOT DRIVE, SUITE 200
PLEASANTON, CA 94588
TEL: (925) 227-9100
CONTACT: DAVID TERHUNE
- ARCHITECT:** BASSENIAN LAGONI
2031 ORCHARD DRIVE, SUITE 100
NEWPORT BEACH, CA 92660
TEL (949) 553-0548
CONTACT: CINDY TEALE
- LANDSCAPE ARCHITECT:** HMM
1570 OAKLAND ROAD
SAN JOSE, CA 95131
TEL (669) 295-2303
CONTACT: SHAWN TAYLOR
- PROPERTY DESCRIPTION:** THE LAND DESCRIBED IN GRANT DEED (1324 OR 29),
APN 560-340-039 & GRANT DEED (2019-0199690)
APN 560-340-043.
- ASSASSOR'S PARCEL NUMBER:** 560-340-043-2 & 560-340-039
- CURRENT GENERAL PLAN DESIGNATION:** 10-40 DWELLING UNITS/ACRE
- PROPOSED LAND USE:** MEDIUM DENSITY RESIDENTIAL
- CURRENT ZONING:** MR
- PROPOSED ZONING:** MR (MEDIUM-DENSITY RESIDENTIAL)
- SITE AREA:** 6.0± ACRES
- TOTAL NUMBER OF PROPOSED LOTS:** 23
- UTILITIES**
 - a. WATER: EAST BAY MUNICIPAL UTILITIES DISTRICT (EBMUD)
 - b. SANITARY SEWER: WEST COUNTY WASTEWATER SEWER DISTRICT
 - c. STORM DRAIN: CITY OF RICHMOND
 - d. FIRE: CITY OF RICHMOND
 - e. GAS AND ELECTRIC: PACIFIC GAS AND ELECTRIC (PG&E)
 - f. TELEPHONE: AT&T
 - g. CABLE TV: COMCAST
- TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON AERIAL TOPOGRAPHIC SURVEY BY TETRATECH PREPARED IN 2021.**
- THIS PROPERTY FALLS WITHIN ZONE X AND IS AN AREA OF MINIMAL FLOOD HAZARD.**

SHEET INDEX

SHEET	SHEET NO.	DESCRIPTION
1	TM-0	COVER SHEET
2	TM-1	SECTIONS & DETAILS
3	TM-2	EXISTING CONDITIONS PLAN
4	TM-3	PRELIMINARY LOTTING PLAN
5	TM-4	PRELIMINARY SITE PLAN & CONTEXTUAL MAP
6	TM-5	PRELIMINARY GRADING & DRAINAGE PLAN
7	TM-6	PRELIMINARY GRADING SECTIONS
8	TM-7	PRELIMINARY GRADING SECTIONS
9	TM-8	PRELIMINARY UTILITY PLAN
10	TM-9	PRELIMINARY STORMWATER TREATMENT PLAN

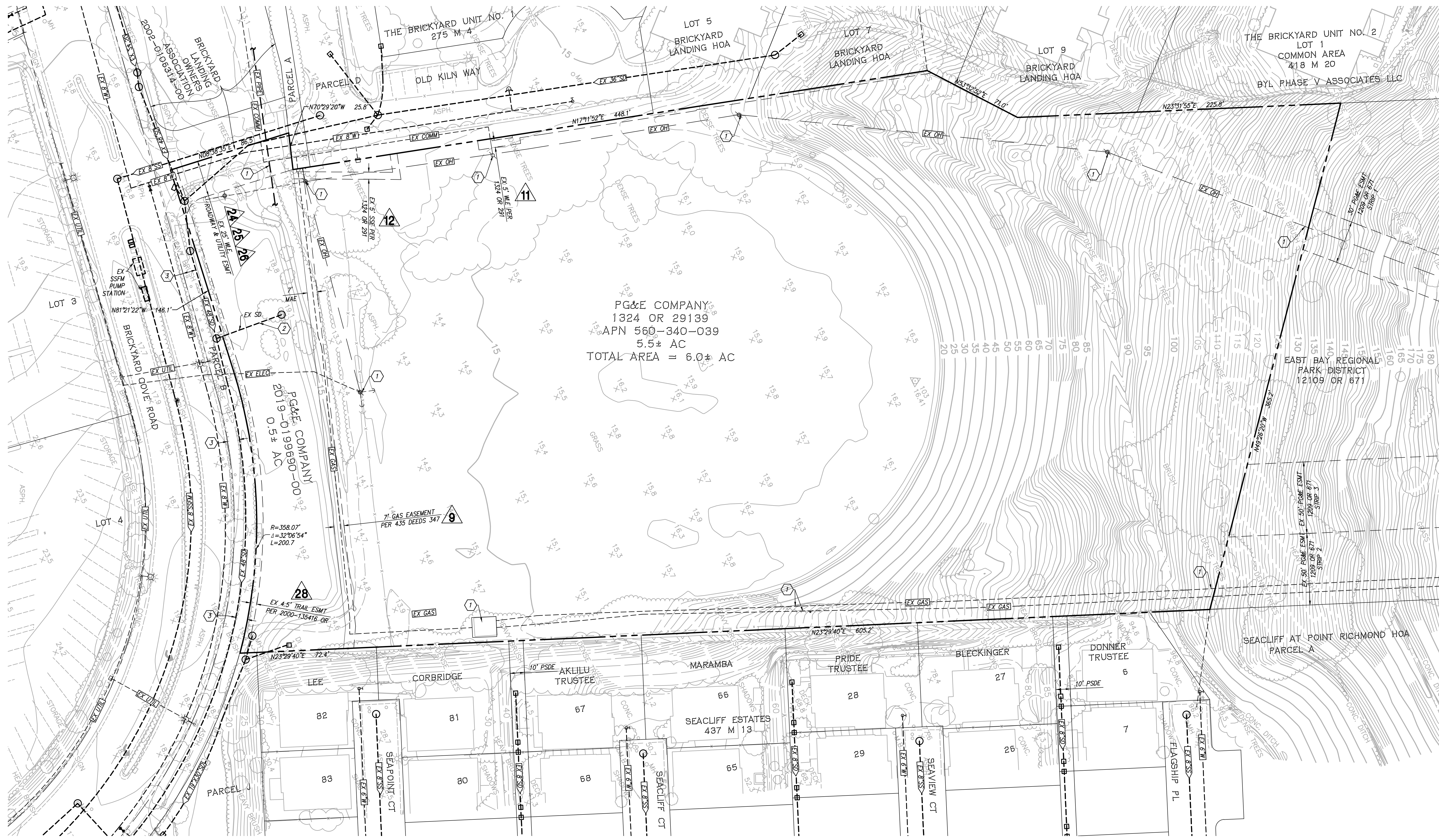
COVER SHEET POINT RICHMOND



Richmond, California
Job #211054



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KEY NOTES:

- 1 EXISTING GAS, ELECTRIC, OVERHEAD JT & JT POLES SHALL BE REMOVED ONSITE & REROUTED AS PART OF ONSITE DEVELOPMENT.
- 2 EXISTING ONSITE SD SHALL BE REMOVED.
- 3 EXISTING ONSITE/FRONTAGE 9± TRAIL SHALL BE REMOVED & REPLACED AS PART OF ONSITE DEVELOPMENT.
- # EASEMENT EXCEPTION # PER PRELIMINARY TITLE REPORT FROM CHICAGO TITLE COMPANY, ORDER NUMBER 98203951-982-SK-KG, UPDATED DECEMBER 1, 2021.

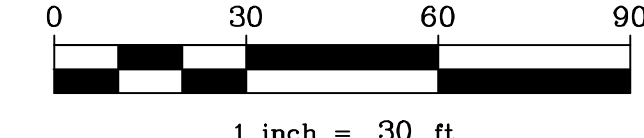
GENERAL NOTES:

- 1. EXCEPTION NUMBER 10 REGARDING PG&E EASEMENT FOR PURPOSE OF RIGHT OF WAY FOR ERECTING, MAINTENANCE, AND USE OF ELECTRICAL TRANSMISSION LINES SUBJECT TO PHYSICAL POLE LOCATION(S) ON GROUND.
- 2. EASEMENT EXCEPTION #24, 25 & 26 SHALL REMAIN WITH ONSITE DEVELOPMENT. ALL OTHER EXISTING ONSITE UTILITIES AND EASEMENTS SHALL BE REMOVED/QUITCLAIMED AND/OR RELOCATED AS APPLICABLE WITH ONSITE DEVELOPMENT.

EXISTING CONDITIONS PLAN

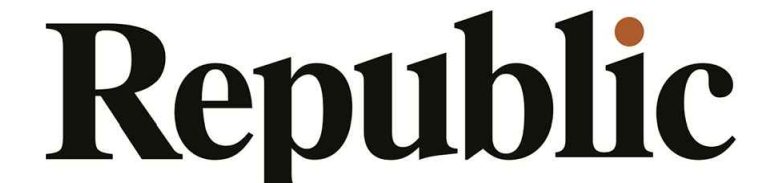
POINT RICHMOND

Richmond, California



Job #211054

06.03.22



TM-2

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LOT SUMMARY		
LOT #	USE	LOT AREA (SF)
1	RESIDENTIAL	8,453
2	RESIDENTIAL	7,200
3	RESIDENTIAL	8,004
4	RESIDENTIAL	7,307
5	RESIDENTIAL	7,960
6	RESIDENTIAL	7,777
7	RESIDENTIAL	7,181
8	RESIDENTIAL	9,111
9	RESIDENTIAL	6,676
10	RESIDENTIAL	9,322
11	RESIDENTIAL	6,374
12	RESIDENTIAL	8,991
13	RESIDENTIAL	6,492
14	RESIDENTIAL	7,864
15	RESIDENTIAL	6,819
16	RESIDENTIAL	7,240
17	RESIDENTIAL	6,623
18	RESIDENTIAL	7,228
19	RESIDENTIAL	7,046
A	PRIVATE STREET/SIDEWALK	64,584
B	CLUBHOUSE/OPEN SPACE	21,982
C	OPEN SPACE	8,106
D	OPEN SPACE	23,190



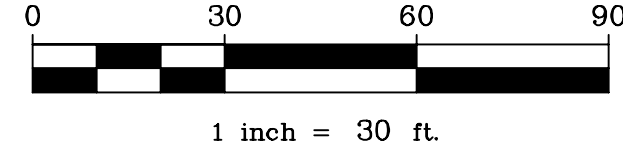
NOTES:
1. FOR DISPOSITION OF EXISTING EASEMENTS, SEE SHEET TM-2.

SITE SUMMARY		
NUMBER OF BUILDINGS	20	
NUMBER OF LOTS*	23	
GROSS SITE AREA	6.0±	ACRES
BUILDINGS	3.3±	ACRES
PRIVATE STREETS & SIDEWALK	1.5±	ACRES
OPEN SPACE	1.2±	ACRES
NET SITE AREA	6.0±	ACRES

* NUMBER OF LOTS INCLUDE LOTS A-D.
** ALL ON-SITE STREETS SHALL BE PRIVATE.

PRELIMINARY LOTTING PLAN POINT RICHMOND

Richmond, California



Job #211054



TM-3

06.03.22

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LEGEND
 ACCESSIBLE UNIT

- NOTES:**
- ALL EXISTING ON-SITE PRIVATE EASEMENTS SHOWN ON THE EXISTING CONDITIONS PLAN SHEET TM-2 NOT SHOWN HEREIN SHALL BE OUTCLAIMED PRIOR TO FINAL MAP APPROVAL.
 - SEE ARCHITECTURAL PLANS PREPARED BY BASSENIAN LAGONI FOR BUILDING SCHEMATIC, DRIVEWAY DEPTHS, AND PROPERTY SETBACKS.
 - SEE SHEET TM-1 FOR STREET SECTIONS.
 - TRAIL CROSSING SIGNAGE SHALL BE ADDED TO BRICKYARD COVE ROAD AND STREET A TO ALERT MOTORISTS OF TRAIL CROSSING IN COMPLIANCE WITH THE LATEST EDITION OF THE CA MUTCD.

SITE DATA SUMMARY	
GROSS AREA	6.0 ± AC
SITE COVERAGE	
BUILDING COVERAGE	138,501 SF
STREETS (LOT A)	64,584 SF
COMMON AREA (1)	5,127 SF
OPEN SPACE (LOTS B-D)	53,342 SF
TOTAL AREA	261,554 SF
PROPOSED NUMBER OF LOTS	23
PROPOSED NUMBER OF RESIDENTIAL BUILDINGS	
BUILDING A	2
BUILDING B	3
BUILDING C	4
BUILDING D	4
BUILDING E	1
BUILDING F	3
BUILDING G	2
TOTAL BUILDINGS	19
TOTAL UNITS	94
PARKING	
GARAGE	188
ONSITE STREET	16
CLUBHOUSE	6
TOTAL PARKING	210

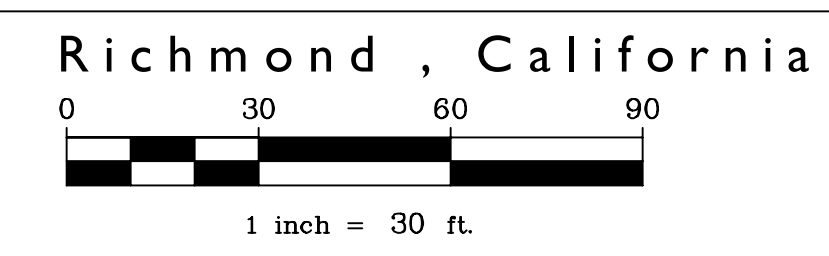
(1) COMMON AREA PER ARCHITECTURAL SITE PLAN.

PRELIMINARY BUILDING SETBACKS								
SETBACKS BASED ON R3 PLOTTING AND CRC CODE								
BUILDING TYPE	SIDE		FRONT			REAR (AT GARAGE)		CORNER TO PL
	TO PL	TO BOUNDARY	TO PL	TO BUILDING	TO BOUNDARY	TO PL	TO BUILDING	
BUILDING A	3'-1"	10'-0"	10'-1"	20'-2"	-	3'-1" (1)	20'-2"	3'-1"
BUILDING B	3'-1"	10'-0"	10'-1"	20'-2"	-	3'-1" (1)	20'-2"	3'-1"
BUILDING C	3'-1"	10'-0"	10'-1"	20'-2"	-	3'-1" (1)	20'-2"	3'-1"
BUILDING D	3'-1"	10'-0"	4'-9"	20'-2"	35'-0"	3'-1" (1)	20'-2"	3'-1"
BUILDING E	3'-1"	10'-0"	10'-1"	20'-2"	-	3'-1" (1)	20'-2"	3'-1"
BUILDING F	3'-1"	7'-3"	10'-1"	20'-2"	-	3'-1" (1)	20'-2"	3'-1"
BUILDING G	1'-6"	10'-0"	10'-1"	20'-2"	-	3'-1" (1)	20'-2"	3'-1"

(1) UPPER LEVELS MAY ENCROACH.

PRELIMINARY SITE PLAN & CONTEXTUAL MAP

POINT RICHMOND



Job #211054



TM-4

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LEGEND:
 ACCESSIBLE UNIT
 BUILDING STEP FOUNDATION

PRELIMINARY EARTHWORK QUANTITIES		
ITEMS	CUT (C.Y.)	FILL (C.Y.)
LOTS	21,000	110,800
PRIVATE STREETS	9,500	41,000
FOUNDATION & PLUMBING SPOILS	3,700	--
TRENCH SPOILS	2,500	--
C.3 SPOILS	1,100	--
POOL & SPA SPOILS	400	--
RETAINING WALL SPOILS	25,500	--
TOTAL	63,700	151,800
RAW IMPORT		88,100

NOTES:
 1. ALL QUANTITIES SHOWN ON THIS PLAN ARE APPROXIMATE. THE ACTUAL AMOUNT OF EARTH MOVED IS VARIABLE DEPENDENT ON COMPACTION, CONSOLIDATION, STRIPPING REQUIREMENTS, AND THE CONTRACTOR'S METHOD OF OPERATION.
 2. THE CONTRACTOR SHALL VERIFY ALL EARTHWORK QUANTITIES BEFORE START OF WORK. THE CONTRACTOR SHALL CONTACT THE CIVIL ENGINEER WITH ANY DISCREPANCIES.
 3. FOUNDATION AND PLUMBING SPOILS ARE ASSUMED AT 35 CY/UNIT AND 400 CY FOR THE RECREATIONAL CENTER, PER ARCHITECT.

PRELIMINARY GRADING & DRAINAGE PLAN

POINT RICHMOND

Richmond, California
 0 30 60 90
 1 inch = 30 ft.

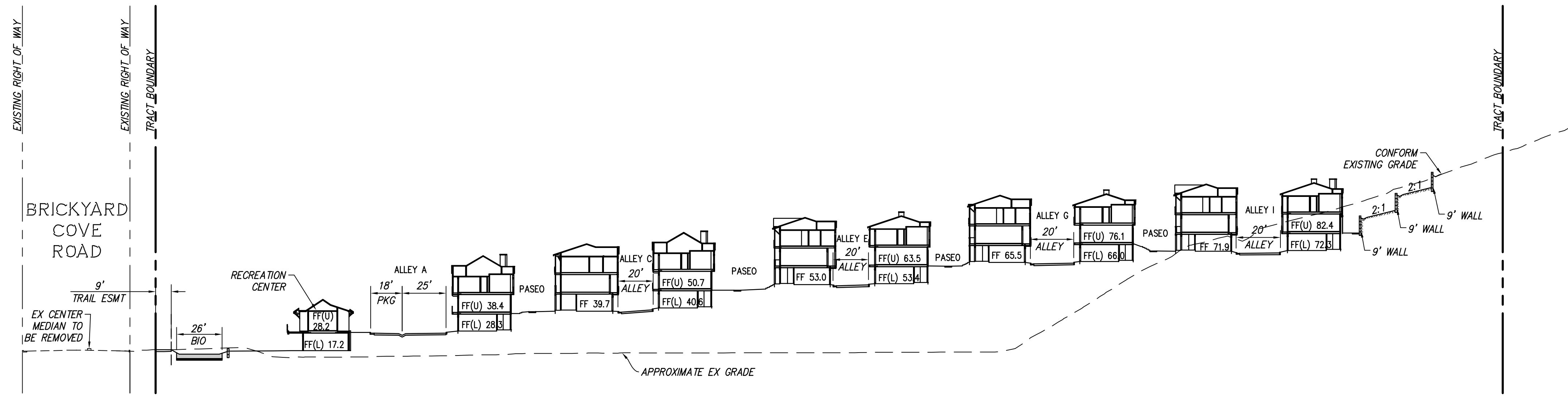
Job #211054



TM-5

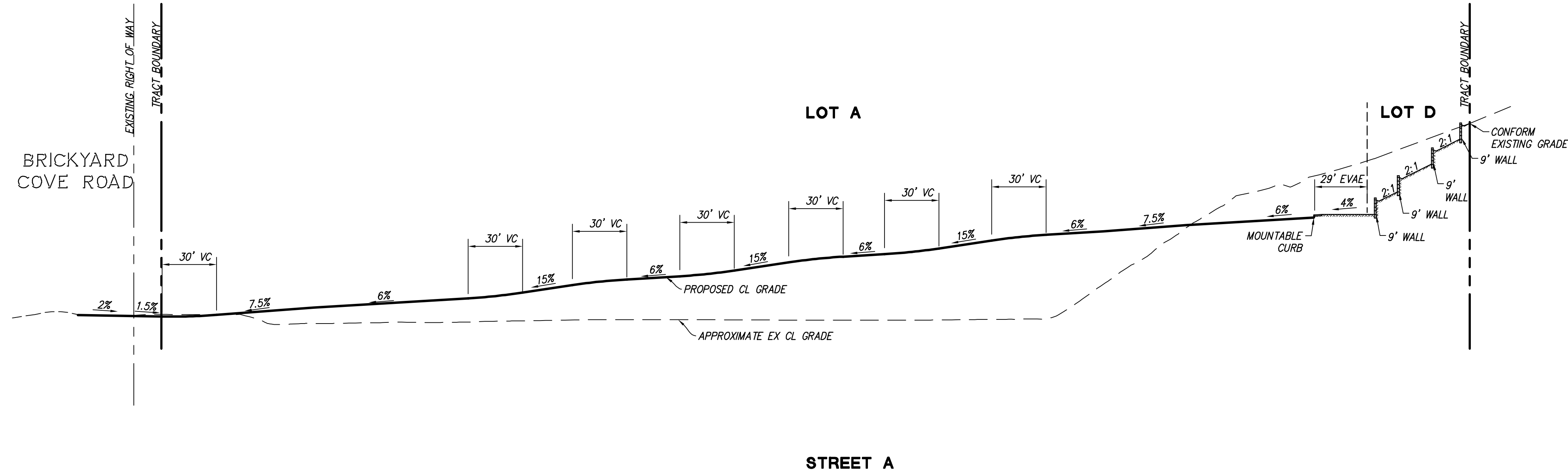
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NOT TO SCALE

1 SECTION A



NOT TO SCALE

2 SECTION B

PRELIMINARY GRADING SECTIONS

POINT RICHMOND

Richmond, California

Job #211054

06.03.22



TM-6

<p>NOT TO SCALE</p>	<p>NOT TO SCALE</p>	<p>NOT TO SCALE</p>	<p>NOT TO SCALE</p>
<p>1 SECTION C</p>	<p>2 SECTION D</p>	<p>3 SECTION E</p>	<p>4 SECTION F</p>
<p>NOT TO SCALE</p>	<p>NOT TO SCALE</p>	<p>NOT TO SCALE</p>	<p>8 X</p>
<p>5 SECTION G</p>	<p>6 SECTION H</p>	<p>7 SECTION I</p>	<p>8 X</p>
<p>9 X</p>	<p>10 X</p>	<p>11 X</p>	<p>12 X</p>
<p>9 X</p>	<p>10 X</p>	<p>11 X</p>	<p>12 X</p>

PRELIMINARY GRADING SECTIONS POINT RICHMOND

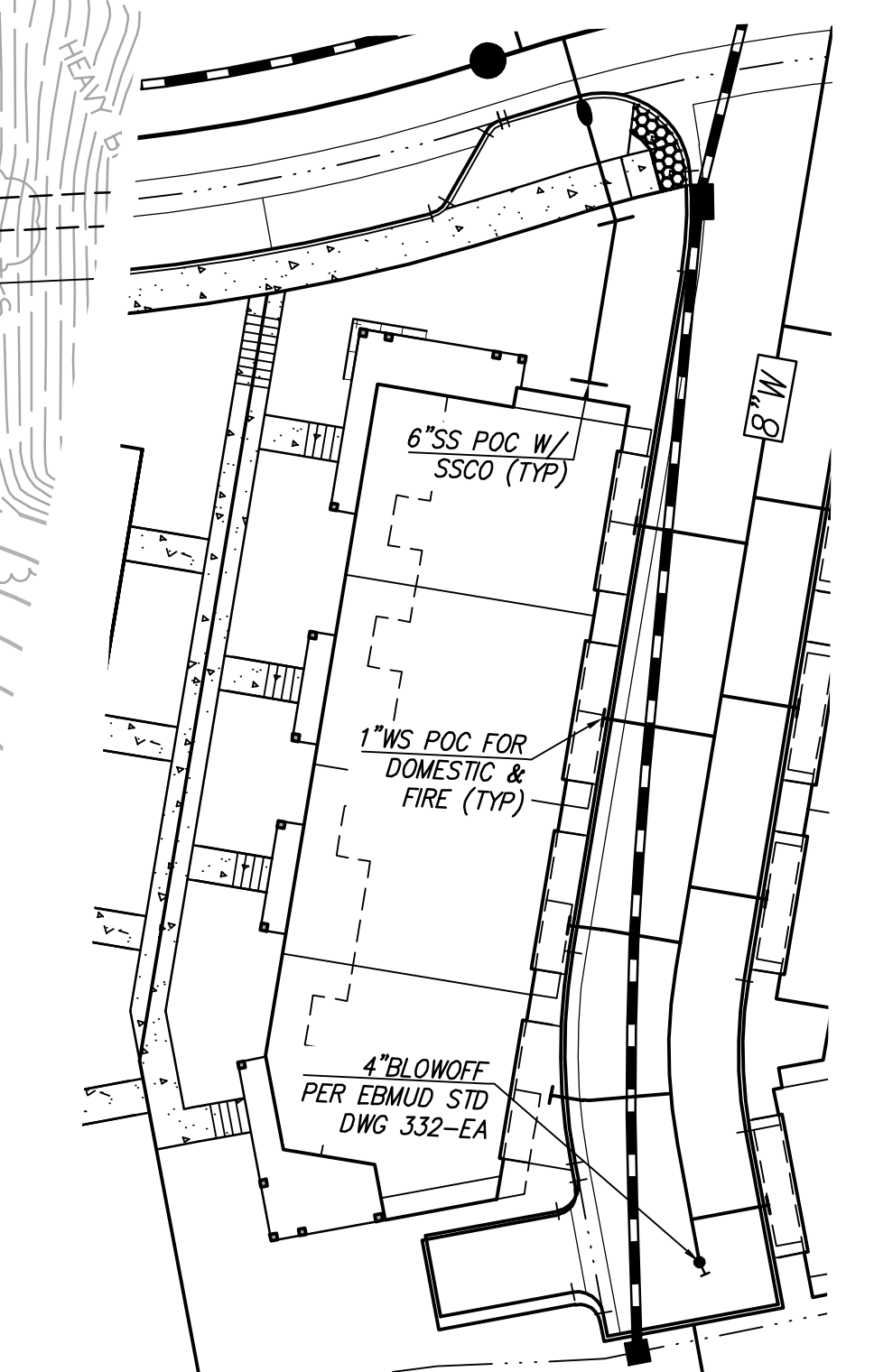
Richmond, California

Job #211054

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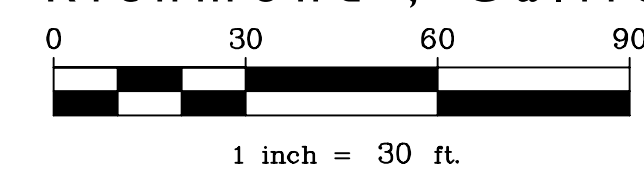


TM-7



PRELIMINARY UTILITY PLAN POINT RICHMOND

Richmond, California



Job #211054

06.03.22



TM-8

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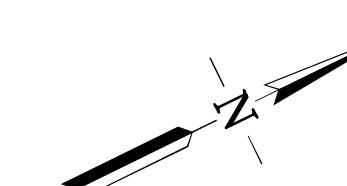
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PRELIMINARY STORMWATER TREATMENT CALCULATIONS							
DRAINAGE MANAGEMENT AREA	SURFACE	TOTAL DMA AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	EFFECTIVE IMPERVIOUS AREA (SF)	REQUIRED TREATMENT AREA (SF)	PROVIDED TREATMENT AREA (SF)
DMA #1	ROOF/HARDSCAPE/LANDSCAPE	256,193	148,469	107,724	159,241	6,370	6,945
	TOTAL	256,193	148,469				

LEGEND

- DRAINAGE MANAGEMENT AREA (DMA)
- BIO-RETENTION AREA
- PERMEABLE PAVERS



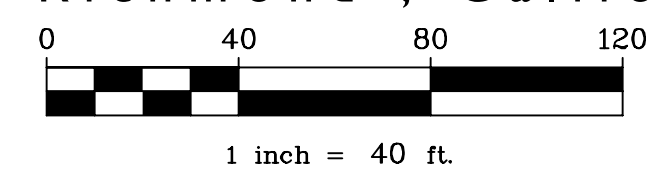
NOTES:

1. SEE SHEET TM-1 FOR BIO-RETENTION AND PERMEABLE PAVER DETAILS.
2. THE PERMEABLE PAVERS PROPOSED ON STREET A ARE ASSUMED TO FUNCTION AS PERVIOUS AREA FOR THE SAKE OF THESE CALCULATIONS. DETAILED PERMEABLE PAVER DESIGN SHALL BE PROVIDED WITH FINAL IMPROVEMENT PLANS.
3. IT IS ASSUMED THAT NO HYDROMODIFICATION IS REQUIRED FOR THIS PROJECT, DUE TO THE FACT THAT THE ON-SITE SD CONNECTS DIRECTLY TO THE EXISTING SD IN BRICKYARD COVE ROAD, WHICH DISCHARGES DIRECTLY INTO THE BAY VIA THE EXISTING OUTFALL AT BRICKYARD COVE ROAD AND SANDPIPER SPIT.

PRELIMINARY STORMWATER TREATMENT PLAN

POINT RICHMOND

Richmond, California



Job #211054



TM-9